

**Development Application: 23-27 Bourke Road, and 41-43 Bowden Street
Alexandria - D/2019/817**

File No.: D/2019/817

Summary

Date of Submission:	1 August 2019 Amended plans and documentation received 31 January and 1 April 2020
Applicant:	Skylife Bourke Pty Ltd
Architect/Designer:	Bates Smart
Developer:	Skylife Bourke Pty Ltd
Owner:	Tipalea Private No.20 Pty Ltd / Skylife Bourke Pty Ltd
Cost of Works:	\$57,632,724
Zoning:	The site is zoned B6 - Enterprise Corridor under the Sydney Local Environmental Plan 2012. The proposal relates to a concept building envelope for a 'commercial premises' and is permissible with consent within the zone.
Proposal Summary:	<p>The concept development application (DA) seeks consent for a commercial building envelope up to 18 metres in height (accommodating approximately 4 storeys). The proposed indicative uses comprise office premises, 10 ground floor shops and basement car parking.</p> <p>The application is referred to the Central Sydney Planning Committee for determination as the proposal is "major development" for the purposes of the City of Sydney Act, 1988.</p> <p>The proposal complies with the maximum permissible building height of 18m under the Sydney LEP 2012.</p>

The site is located in the Green Square Urban renewal Area. A base Floor Space Ratio of 1.5:1 with an additional 0.5:1 FSR, associated with the provision of community infrastructure, is permitted under the Sydney LEP 2012. A potential 10% additional floor space is also available for a detailed building design, resulting from a design competition process demonstrating design excellence. The application is accompanied by an indicative concept design scheme demonstrating an envelope that is able to accommodate the maximum permitted FSR, including the additional design excellence bonus.

A competitive design process is proposed prior to the lodgement of a detailed design DA, and the proposal is accompanied by a Design Excellence Strategy seeking up to an additional 10% floor space, as per Clause 6.21(7) of the Sydney LEP 2012.

A Public Benefit Offer accompanies the application. The Public Benefit Offer is for the dedication of land to Council for footpath widening, embellishment works and a monetary contribution for community infrastructure floor space in accordance with the DCP.

A draft Voluntary Planning Agreement (VPA) has been prepared incorporating the works proposed by the developer in the Public Benefit Offer. The draft VPA was publicly exhibited for a period of 28 days between 5 March and 2 April 2020. No submissions were received.

The DA was notified and advertised for a period of 28 days between 7 August and 5 September 2019. Two submissions were received raising concerns with:

- the co-location of vehicular access and services with those of the adjoining site to the south-west;
- privacy impacts;
- provision of public domain improvements; and
- the recommended use of smaller waste trucks to access the site.

The issues raised in the submissions have been addressed in the report, and conditions of consent are recommended to address these issues where appropriate.

The preliminary assessment of the DA identified a number of issues. This included:

- the building footprint providing a consistent setback to Bourke Road and the junction of Bowden Street and the new connector road (being the extension of Geddes Avenue);
- demonstrating that the development could utilise the 10% additional FSR bonus;
- justification of the driveway location on Bourke Road, deep soil planting;
- inclusion of ecologically sustainable development (ESD) targets;
- contamination impacts; and
- revision of the Design Excellence Strategy.

These issues have primarily been addressed through the submission of amended plans and additional information.

The proposal is generally consistent with the relevant planning provisions contained in the Sydney Local Environmental Plan 2012 and the Sydney Development Control Plan 2012.

The proposal is Integrated Development under the Water Management Act 2000 and requires approval from Water NSW. General Terms of Approval were received from Water NSW on 16 January 2020.

The application is recommended for approval subject to deferred commencement conditions requiring the execution and registration of the VPA.

Summary Recommendation: The development application is recommended for deferred commencement approval.

Development Controls:

- (i) Environmental Planning and Assessment Act 1979
- (ii) City of Sydney Act 1988
- (iii) Sydney Airport Referral Act 1996
- (iv) Water Management Act 2000
- (v) State Environmental Planning Policy No. 55 - Remediation of Land
- (vi) State Environmental Planning Policy (Infrastructure) 2007
- (vii) Sydney Local Environmental Plan 2012
- (viii) Sydney Development Control Plan 2012
- (ix) City of Sydney Development Contributions Plan 2015
- (x) Green Square Affordable Housing Program

Attachments:

- A. Recommended Conditions of Consent
- B. Proposed Building Envelope Drawings
- C. Indicative Drawings
- D. Draft Voluntary Planning Agreement and Public Benefit Offer
- E. Design Excellence Strategy

Recommendation

It is resolved that:

- (A) pursuant to Section 4.16(3) of the Environmental Planning and Assessment Act 1979, a deferred commencement consent be granted to Development Application No. D/2019/817 subject to the conditions set out in Attachment A to the subject report; and
- (B) the Design Excellence Strategy for 23-27 Bourke Road and 41-43 Bowden Street, Alexandria, prepared by City Plan and dated 12 March 2020, be endorsed in accordance with Section 3.3.1 of the Sydney Development Control Plan 2012 and Section 1.2 of the City of Sydney Competitive Design Policy.

Reasons for Recommendation

The application is recommended for deferred commencement approval for the following reasons:

- (A) The concept development is consistent with Section 4.15 of the Environmental Planning and Assessment Act 1979, in that subject to the imposition of appropriate conditions as recommended, it achieves the objectives of the planning controls for the site and does not result in any unreasonable environmental impacts as outlined in the report to the Central Sydney Planning Committee.
- (B) The development is consistent with the objectives contained in the Sydney Local Environmental Plan (LEP) 2012 and the Sydney Development Control Plan 2012.
- (C) The proposal is consistent with the objectives of the B6 - Enterprise Corridor zone.
- (D) The concept development complies with the maximum permitted height under Clause 4.3 of the Sydney LEP 2012, and the subsequent detailed development application (DA) is capable of complying with the maximum permitted floor space ratio within the parameters of the building envelope, pursuant to Clauses 4.4, 6.13 and 6.14 of the Sydney LEP 2012. The indicative drawings demonstrate that the detailed DA is also capable of achieving up to 10% additional floor space within the parameters of the building envelope, pursuant to compliance with Clause 6.21 of the Sydney LEP 2012 and the recommended conditions of consent.
- (E) The proposal, subject to conditions, satisfies the relevant provisions contained in Clause 6.21(4) of the Sydney LEP 2012 as the proposed land use is suitable for the site, the proposal sets out ecologically sustainable development key targets for the development, the building envelope does not detrimentally impact on view corridors or result in unacceptable overshadowing, and the massing and setbacks of the building envelope are compatible with the character of the area.
- (F) The proposal is generally consistent with the provisions of the Sydney Development Control Plan (DCP) 2012, particularly the Green Square and Southern Employment Lands provisions that apply to the site, being Sections 5.2 and 5.8.

- (G) The Design Excellence Strategy complies with Section 3.3 of the Sydney DCP 2012 and the City of Sydney Competitive Design Policy.
- (H) The proposal will improve the quality of the public domain through dedication of land for footpath widening along Bourke Road and Bowden Street. Deferred commencement approval is therefore recommended to enable the Voluntary Planning Agreement to be executed and registered on title.
- (I) For the reasons outlined above and as detailed in the report to Central Sydney Planning Committee, the proposed development is in the public interest subject to conditions.

Background

The Site and Surrounding Development

1. The subject site contains two allotments, identified as Lots 16 and 17 in DP 747148, and are commonly known as 41-43 Bowden Street and 23-27 Bourke Road, Alexandria.
2. The site is located within the Green Square Urban Renewal Area and Southern Employment Lands, and is approximately 800m south-west of Green Square Town Centre.
3. The site on the corner of Bourke Road (west) and Bowden Street (north), and will intersect with the future Green Square to Ashmore connector road extending from Geddes Avenue to the east, to the corner of Bowden Street, where the subject site is located (see Figures 1 and 2 below).
4. Maps of the site and surrounds are provided below:



Figure 1: Aerial view of subject site and surrounding area

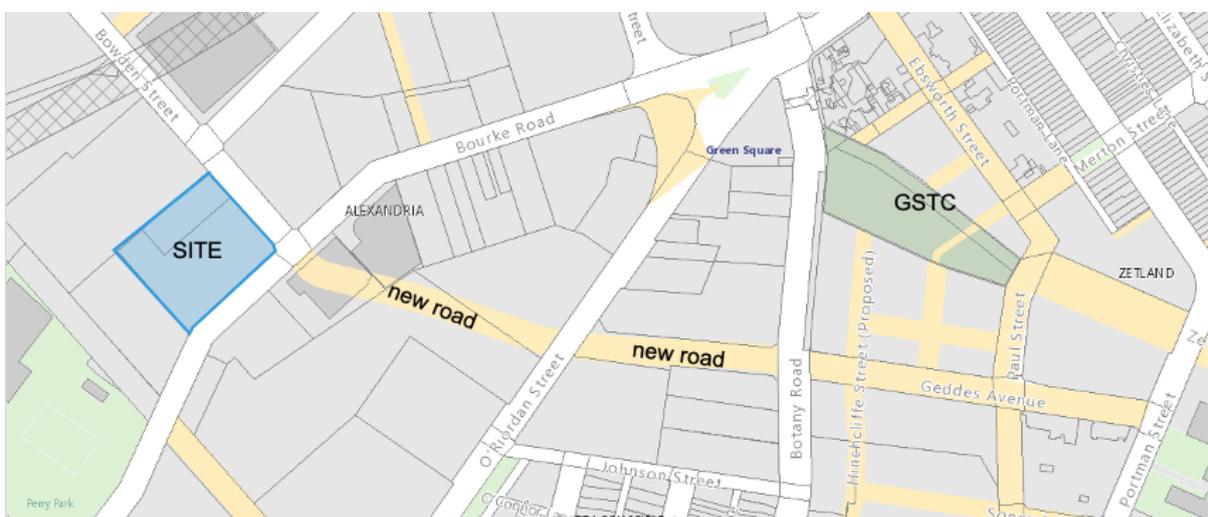


Figure 2: Map of site and surrounding context

5. The site is generally rectangular in shape, with a street frontage of approximately 90m to Bourke Road, and 85m to Bowden Street, and a site area of approximately 8,090sqm. The Bourke Road cycleway is situated to the south of the site.
6. Two, 1-2 storey industrial warehouse buildings are contained within the site, that have been divided into several tenancies. Car parking is provided within the site, along the entire front setback to Bourke Road, and a portion of Bowden Street.
7. Surrounding land uses are commercial and industrial in nature. Directly to the south at 29-33 Bourke Road, is an industrial warehouse building of similar scale to the existing buildings within the subject site. Further south is a Sydney Water corridor identified in the Sydney DCP 2012 as part of the future Liveable Green Network (LGN). Adjoining this corridor is the City owned public reserve known as Perry Park.
8. Directly opposite the site to Bourke Road is the Alexandria Zone Substation No. 780, owned and operated by Ausgrid. Other development on the eastern side of Bourke Road generally comprise older 2-3 storey commercial and industrial buildings with open hard stand car parking.
9. Adjoining the site to the west at 33-39 Bowden Street is a large industrial building built to the common boundary. Adjacent to the western side common boundary and located wholly within 33-39 Bowden Street is a future through-site link identified in the Sydney DCP 2012.
10. The site and immediate surrounds are not affected by any heritage provisions.
11. Photographs of the site and surrounding development are provided below:



Figure 3: Site viewed from corner of Bourke Road and Bowden Street



Figure 4: Bourke Road elevation of subject site



Figure 5: Bourke Road elevation of subject site (further south-west)



Figure 6: 29-33 Bourke Road (adjoining the site to the south-west)



Figure 7: Geddes Avenue (new connector road), opposite the subject site



Figure 8: Bowden Street elevation of subject site

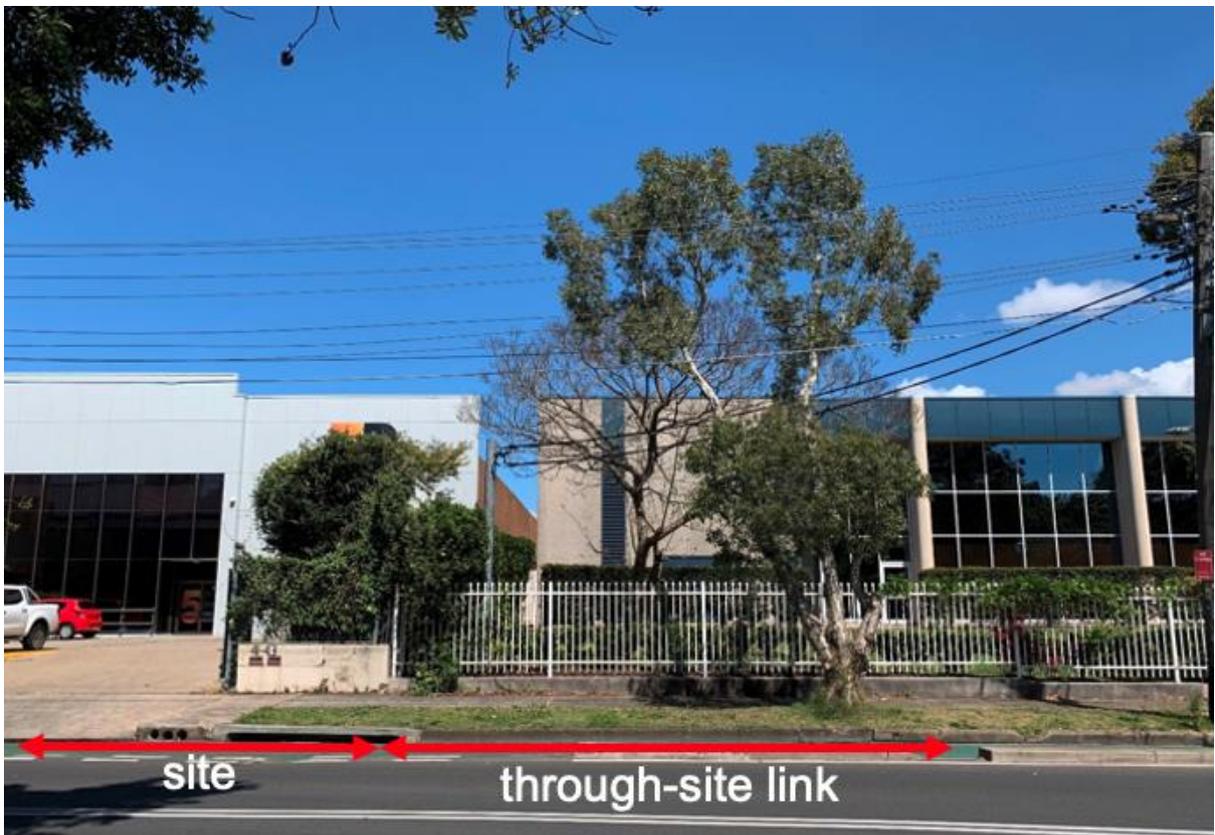


Figure 9: Future through-site link to Bowden Street

Proposal

12. The subject development, as amended on 31 January and 1 April 2020, seeks concept development consent pursuant to Section 4.22 of the Environmental Planning and Assessment Act 1979 for the redevelopment of the site for commercial purposes.
13. Specifically, the application seeks conceptual, in-principle approval for the following:
 - (a) A commercial building 18m in height (RL 27.000 - RL27.244), which is indicatively shown as containing 4 storeys;
 - (b) Indicative land uses (reference scheme) comprising:
 - (i) 2 basement levels of car parking and end of journey facilities (including a mezzanine basement level);
 - (ii) 10 food and drink / commercial tenancies at ground floor, with commercial lobbies, substation and vehicular access to Bourke Road;
 - (iii) Levels 1 -3 containing office premises; and
 - (iv) Removal of all trees within the site (28), and all street trees around the perimeter of the site (9).
14. The Design Excellence Strategy submitted with the DA states that the proponent will undertake a competitive design excellence process following consent of the concept DA and prior to the submission of the detailed design DA. The proponent seeks to pursue up to an additional 10% floor space subject to the provisions of Clause 6.21 of the Sydney LEP 2012.
15. The proposal is accompanied by a public benefit offer, providing for the dedication of land to the City for footpath widening, and a monetary contribution towards community infrastructure in the Green Square area.
16. The current site area is 8,090sqm. The above footpath widening setbacks will result in new property boundaries to Bourke Road and Bowden Street, reducing the site area to 7746sqm.
17. Plans of the proposed building envelope and indicative concept design plans are provided below.

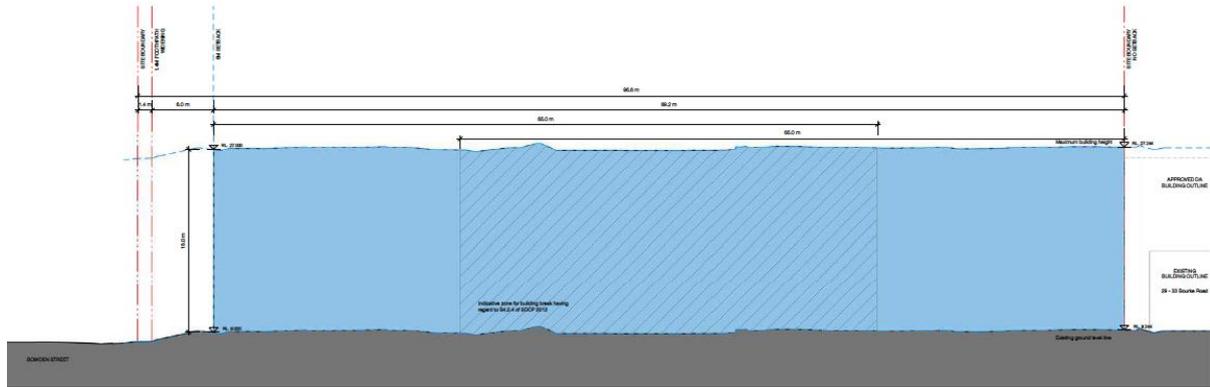


Figure 12: Proposed through-site link / north west envelope elevation

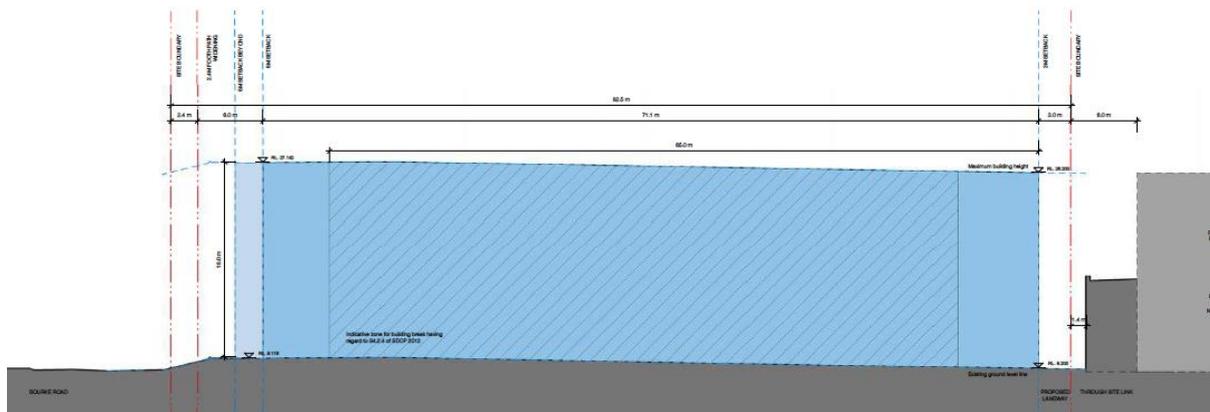


Figure 13: Proposed Bowden Street / north east envelope elevation

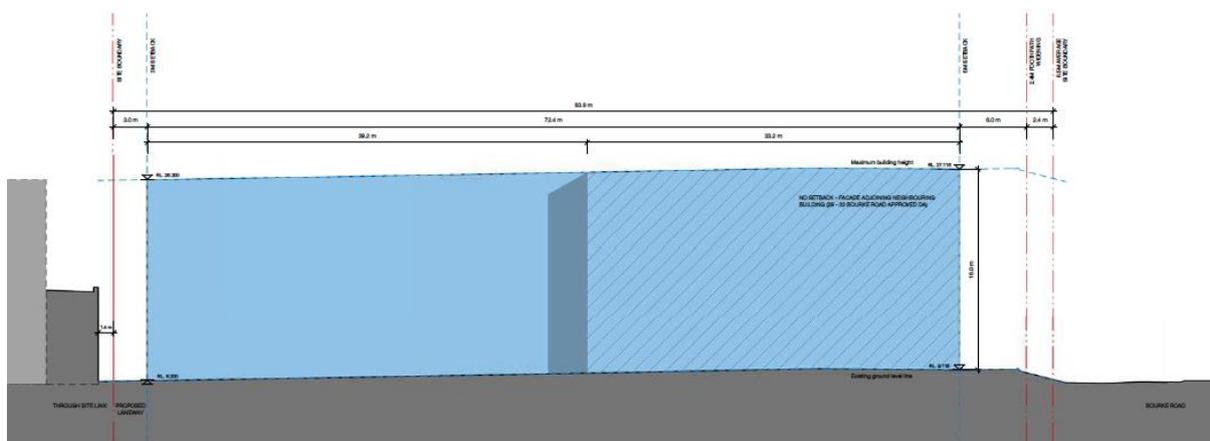


Figure 14: Proposed south-west envelope elevation

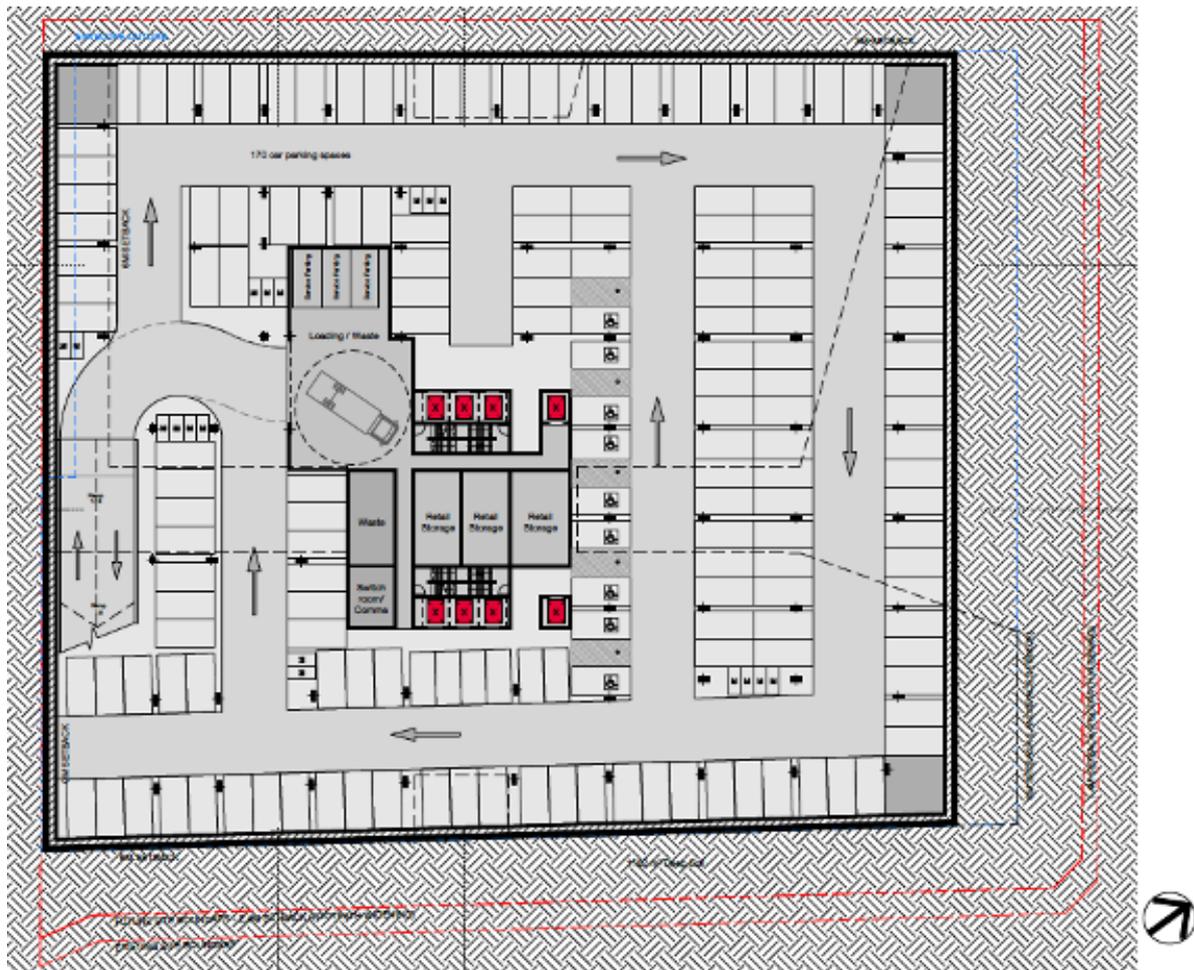


Figure 15: Proposed indicative concept design basement level plan

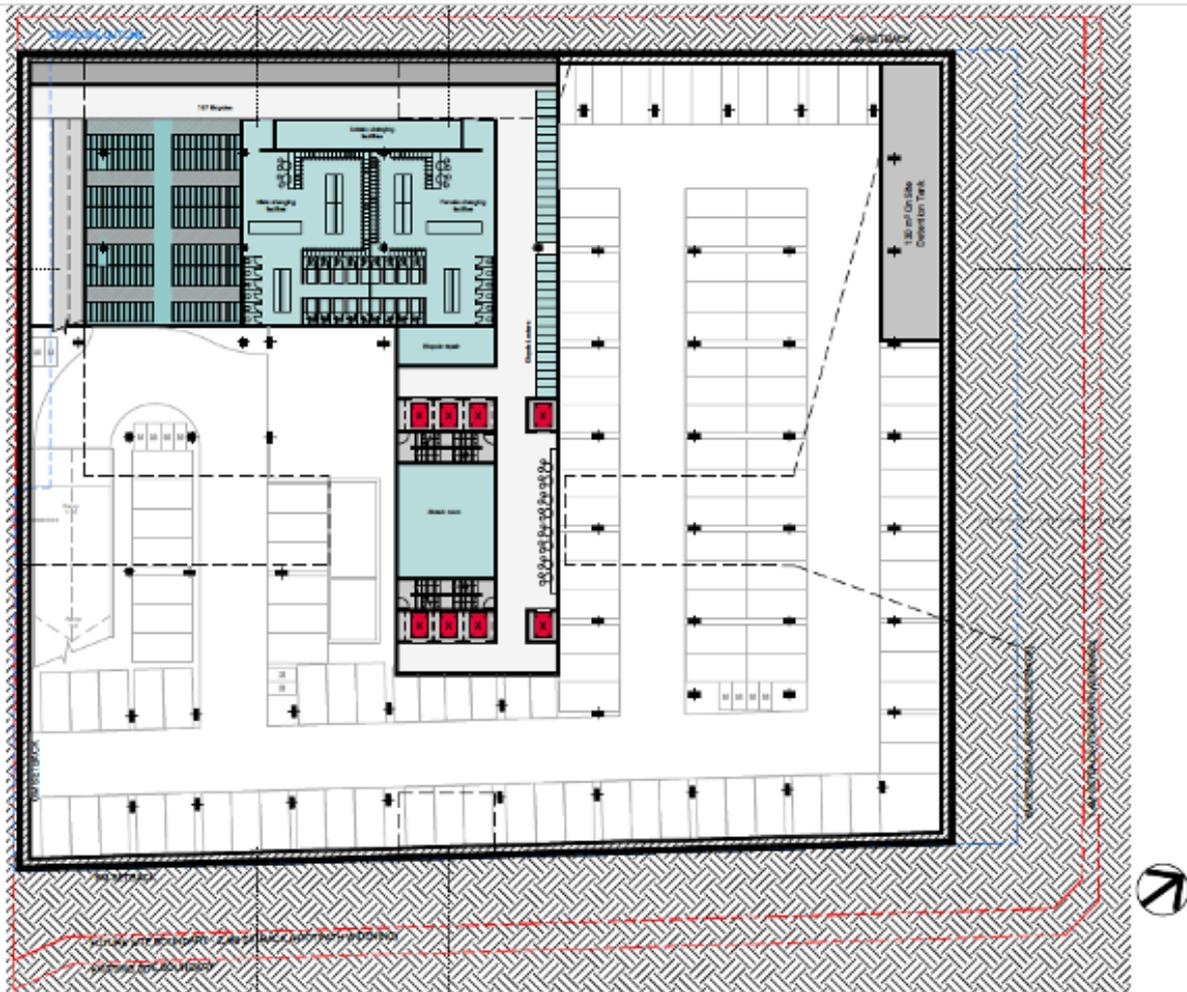


Figure 16: Proposed indicative concept design basement mezzanine level plan

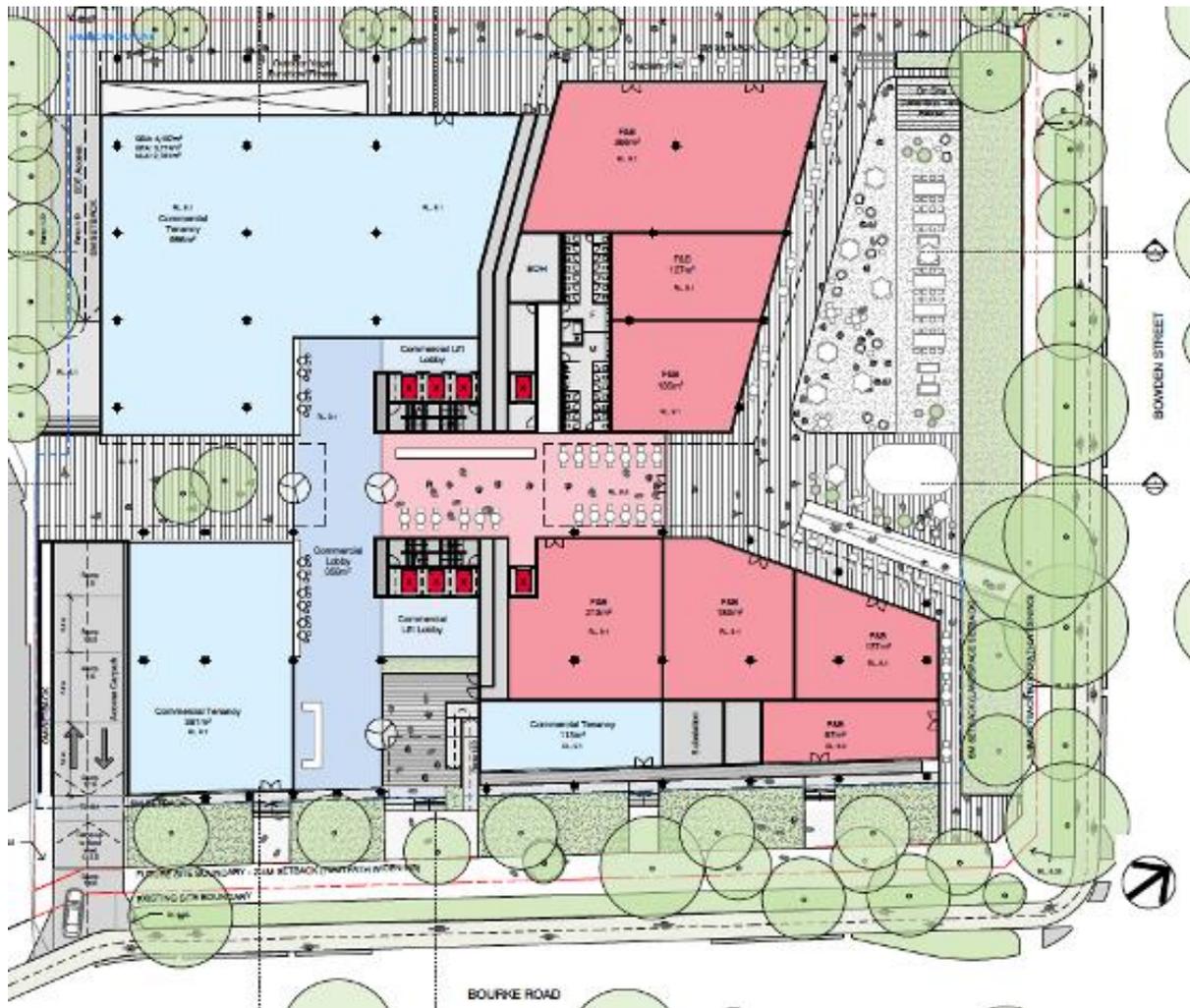


Figure 17: Proposed indicative concept design ground floor plan

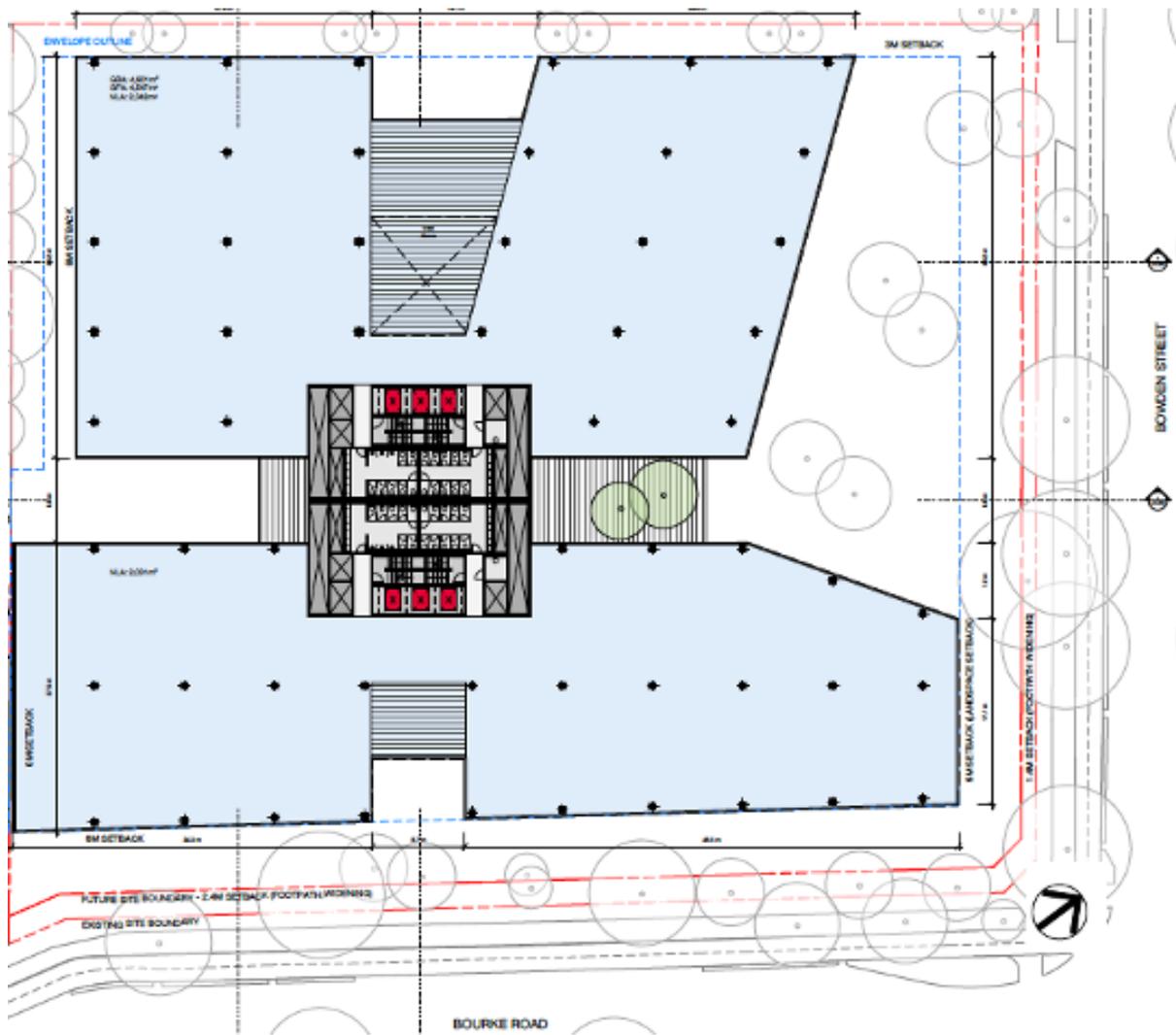


Figure 18: Proposed indicative concept design Level 1 plan (level 2 and 3 similar)



Figure 19: Proposed indicative concept design roof plan

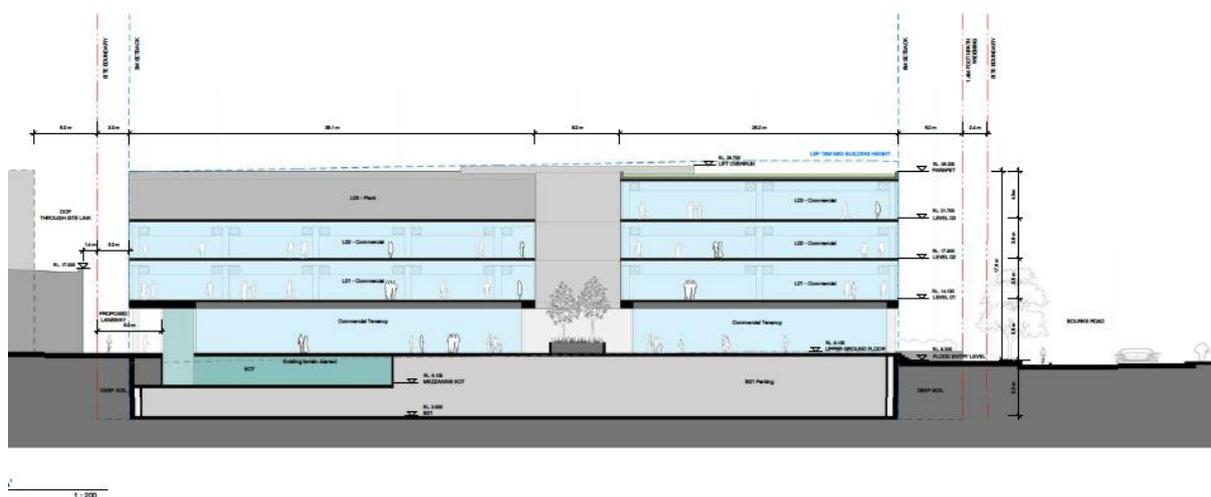


Figure 20: Proposed indicative concept design section



Figure 21: Proposed indicative concept design section

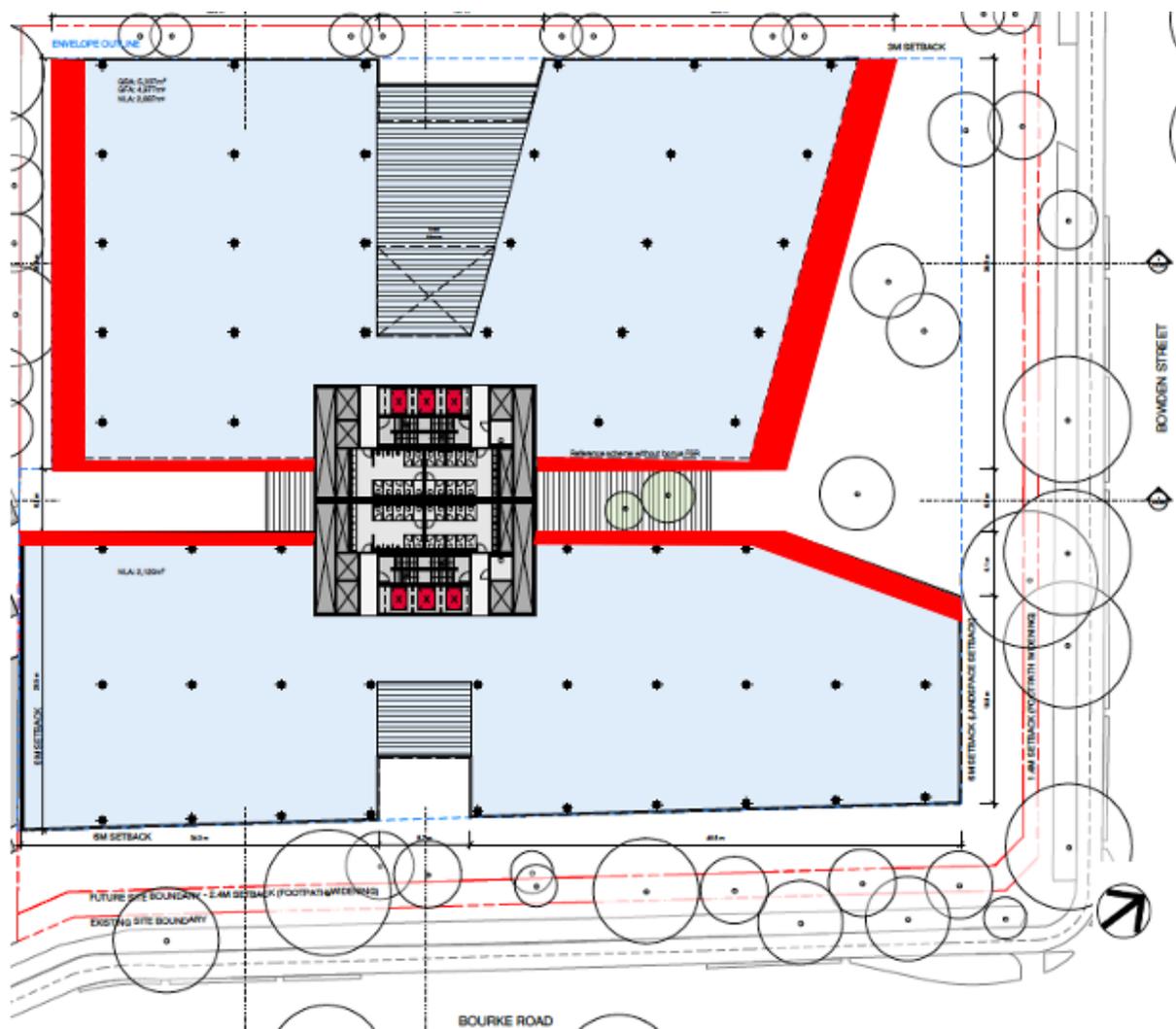


Figure 22: Proposed indicative concept design level 1 plan depicting additional 10% FSR in red. Other levels similar

History Relevant to the Development Application

18. The preliminary assessment of the DA raised a number of concerns including:
 - (a) Non-compliant building setback from Bourke Road in accordance with the Sydney DCP 2012;
 - (b) Non-compliant deep soil zones within the site;
 - (c) No submission of indicative concept plans depicting an additional 10% floor space;
 - (d) Further refinement of the ESD report (in terms of providing solid, achievable targets), the Design Excellence Strategy, and contamination findings;
 - (e) Inadequate justification for the location of vehicular access on Bourke Road; and
 - (f) Minimal allowances for concealment of rooftop plant within the proposed building envelope.
19. The original concept proposal was presented to the City's Design Advisory Panel (DAP) on 17 October 2019. DAP generally agreed with the recommendations presented above with regard to amendments to the design and documentation.
20. In response to the issues raised by Council officers which incorporated the advice given by DAP, the proposal was amended and additional information provided on 31 January and 1 April 2020.
21. The amended application has sufficiently resolved the issues raised in the preliminary assessment, and is the subject of this assessment report.

Economic/Social/Environmental Impacts

22. The application has been assessed under Section 4.15 of the Environmental Planning and Assessment Act 1979, including consideration of the following matters:
 - (a) Environmental Planning Instruments and DCPs.

Sydney Airport Referral Act 1996

23. Section 183 of the Commonwealth Airports Act 1996 specifies that, amongst other things, construction of a building or other structure that intrudes into a prescribed airspace is a controlled activity.
24. Schedules 2 and 5 of the Civil Aviation Building Control Regulations 1988 identify the site is subject to a prohibition of the construction of buildings more than 50 feet in height (15.24m) above existing ground height.
25. Section 183 of the Commonwealth Airports Act 1996 specifies that controlled activities may not be carried out in relation to prescribed airspace unless an approval has been granted. The relevant approval body is the Civil Aviation Safety Authority (CASA). The Sydney Airport Airfield Design Manager, as an authorised person of CASA, provided approval for the controlled activity on 12 August 2019.

Water Management Act 2000

26. The basement levels proposed will have an impact on the groundwater levels within the site, with groundwater expected to be encountered at approximately 1.5m below ground. In accordance with Section 4.47 of the Environmental Planning and Assessment Act 1979, the application was forwarded to Water NSW as Integrated Development.
27. Water NSW provided General Terms of Approval on 16 January 2020, which have been included in attachment A of this report.

State Environmental Planning Policy No 55—Remediation of Land

28. The aim of SEPP 55 is to ensure that a change of land use will not increase the risk to health, particularly in circumstances where a more sensitive land use is proposed.
29. The site was previously used for industrial purposes between the 1930s and 1940s, and up until the 1980s was used for metal production and manufacturing operations.
30. A detailed site investigation, remediation action plan and letter of interim advice have been submitted with the development application and reviewed by City staff during the assessment of the proposal.
31. The reports specify that there are two underground storage tanks within the site that require removal, with impact soil to be chased to ensure no residual impacts remain. Additionally, some soil will require replacement for landscaping within the proposed deep soil zones (Bourke and Bowden).
32. The interim advice from the accredited site auditor concludes that the Remediation Action Plan provides sufficient recommendations that if followed, the site may be made suitable for the proposed use. The advice further specifies that setbacks and landscape areas are unlikely to be affected by contamination, and it is therefore recommended that a condition be imposed to ensure that no long-term environmental management plan be required for any areas dedicated to the City.
33. The City's Health and Building Unit has reviewed the documentation and is satisfied that subject to conditions, the site can be made suitable for the proposed use in accordance with Clause 7 of SEPP 55 and the SEPP 55 Guidelines.

State Environmental Planning Policy (Infrastructure) 2007

34. The provisions of SEPP (Infrastructure) 2007 have been considered in the assessment of the development application.

Clause 45

35. The development site is within the vicinity of overhead powerlines, and as such, the application was referred to Ausgrid under the provisions of Clause 45 for a period of 21 days. No response was received, and it is therefore assumed no objection is raised by Ausgrid.
36. It is recommended that a condition of consent be imposed requiring the applicant to liaise with Ausgrid prior to the lodgement of the detailed design DA and that any required substation be accommodated within the design of the development.

Sydney Local Environmental Plan 2012

37. The site is located within the B6 - Enterprise Corridor zone. The proposal relates to a concept building envelope for a 'commercial premises' and is permissible with consent within the zone. The B6 zone restricts certain types of retail uses and includes the following objectives:
- (a) To promote businesses along main roads and to encourage a mix of compatible uses;
 - (b) To provide a range of employment uses (including business, office, retail and light industrial uses);
 - (c) To maintain the economic strength of centres by limiting retailing activity; and
 - (d) To ensure uses support the viability of any adjoining industrial zone for industrial uses.
38. Particular types of retail, such as specialised retail premises are prohibited in the zone. Any future detailed DA will be required to detail and comply with zone objectives around retail uses and support zone objectives.
39. The relevant matters to be considered under Sydney Local Environmental Plan 2012 for the proposed development are outlined below.

Compliance Tables

Development Control	Compliance	Comment
4.3 Height of Buildings	Yes	A maximum height of 18m is permitted. A height of 18m is proposed.
4.4 Floor Space Ratio 6.12 Additional floor space outside Central Sydney 6.13 End of journey facilities 6.14 Community infrastructure floor space at Green Square	Able to comply	A maximum FSR of 2:1 is permitted on the site, with a base FSR of 1.5:1 and an additional 0.5:1 community infrastructure floor space under Clause 6.14 as the site is located within Area 6. The proposal includes a public benefit offer towards the delivery of community infrastructure within Green Square, and this is discussed in further detail within the Issues section. The site may also be eligible for up to an additional floor space of 0.3:1 if end of journey facilities are provided in accordance with Clause 6.13 of the Sydney LEP 2012.

Development Control	Compliance	Comment
		<p>In addition to this, the proponent is seeking to pursue up to an additional 10% floor space under Clause 6.21(7) of the Sydney LEP 2012 through a competitive design process and subsequent detailed design DA.</p> <p>Subject to the detailed DA and compliance with the abovementioned provisions, the maximum permitted FSR for the site is 2.2:1, and up to 0.3:1 additional floor space when this FSR is applied to the FSR of the proposed building.</p> <p>The indicative concept design scheme drawings demonstrate that the proposal can achieve compliance with the maximum FSR for the subject site.</p> <p>A condition is recommended ensuring that any subsequent detailed design DA complies with the provision of precise calculations and details of the distribution of Gross Floor Area (GFA) and FSR with any such future application.</p>

Part 6 Local Provisions - Height and Floor Space	Compliance	Comment
6.21 Design excellence	Able to comply	<p>The proposal is for a concept building envelope that is capable of accommodating a future building which can exhibit design excellence in accordance with the objective and matters for consideration in Clause 6.21(4) of the Sydney LEP 2012.</p> <p>The concept building envelope:</p> <ul style="list-style-type: none"> • Shows that view corridors will not detrimentally be impacted. • Demonstrates that the indicative land use is suitable for the site.

Part 6 Local Provisions - Height and Floor Space	Compliance	Comment
		<ul style="list-style-type: none"> • Provides height, massing and setbacks that are compatible with the existing and desired character of the locality. • Sets ecologically sustainable development targets. • Depicts the maximum extent of overshadowing and is assessed as acceptable. <p>Further assessment will be made against the other relevant provisions of Clause 6.21(4), such as the building's materiality and relationship to the public domain as part of the detailed design DA.</p> <p>A competitive design process is proposed, prior to lodgement of a subsequent detailed design DA which will seek up to an additional 10% exceedance of the maximum FSR applicable to the site. Demonstration of design excellence is required before the award of any bonus floor space.</p>
6.28 Development on certain land in Zone B6 Enterprise Corridor	N/A	The proposal is for a concept building envelope relating to the erection of a new building, and the site is located within the B6 zone. However, as the subject site is located within the Green Square Urban Renewal Area the height and floor space provisions within this Clause do not apply.

Part 7 Local Provisions - General	Compliance	Comment
7.1 - 7.9 Car parking ancillary to other development	Able to comply	<p>The site is identified as 'Category F' on the Public Transport Accessibility Map, as it is located within 800m of Green Square Railway Station.</p> <p>Based on the indicative GFA of 17,798sqm, and a split between food and drink premises and commercial office tenancies, a maximum of 163 car parking spaces are permitted.</p> <p>The indicative scheme proposes 170 car spaces across 2 basement levels.</p> <p>Conditions are recommended to ensure compliance with the relevant clauses and provisions, in relation to maximum car parking spaces and general parking design.</p> <p>The precise location of vehicular access, the number of parking spaces and number of basement levels will not be determined as part of this DA.</p>
7.13 Contribution for purpose of affordable housing	Able to comply	The subsequent detailed design DA for the site will be subject to affordable housing contributions under Clause 7.13 of SLEP 2012 and the Green Square Affordable Housing Program.
7.14 Acid Sulphate Soils	Yes	The site is classified as containing Class 3 Acid Sulphate Soils. The applicant has provided an Acid Sulphate Soils Management Plan that adequately addresses the requirements of this provision.
7.15 Flood planning	Able to comply	<p>The subject site is flood prone. The required flood planning level has been taken into consideration in the reference scheme and complies.</p> <p>An appropriate condition is recommended to ensure the detailed design DA incorporates the required flood planning level.</p>

Part 7 Local Provisions - General	Compliance	Comment
7.16 Airspace operations	Yes	The proposed development will penetrate the Obstacle Limitation Surface, however approval from CASA has been provided as discussed elsewhere in this report.
7.20 Development requiring preparation of a development control plan	Yes	<p>The area of the site is greater than 5,000 square metres, which triggers the requirement for the preparation of a site specific development control plan.</p> <p>Section 4.23 of the Environmental Planning and Assessment Act 1979 allows a concept approval to be lodged in lieu of preparing a development control plan.</p> <p>The matters under Clause 7.20(4) of the Sydney LEP 2012 are satisfied by the documentation submitted with the application and the recommended conditions of consent.</p> <p>The proposal satisfactorily sets expectations for the form, massing, scale, environmental impacts, ESD outcomes, access outcomes, interface with ground level and landscaping outcomes for the development.</p>
7.23 Large retail development outside of Green Square Town Centre and other planned centres	Yes	<p>The site is located within the restricted retail area which prohibits shops or markets with a GFA greater than 1000sqm.</p> <p>The proposed indicative size of the tenancies at ground floor are 4,173sqm in total, with no individual tenancy having a gross floor area greater than 1000sqm. These tenancies are indicated as being used as food and drink premises, or commercial tenancies. Particular types of retail, such as specialised retail premises are prohibited in the zone. Any future detailed DA will be required to detail and comply with zone objectives around retail uses.</p>

Part 7 Local Provisions - General	Compliance	Comment
7.25 Sustainable transport on southern employment land	Yes	<p>The subject site is 800m from Green Square Railway Station and in close proximity to a number of frequent bus routes along Bourke Road and Botany Road.</p> <p>The proposal is accompanied by a Traffic Report identifying that the transport network is able to accommodate the proposed development.</p> <p>Additionally, the indicative plans demonstrate the provision of end of journey facilities for occupants of the development, promoting the use of sustainable transport options.</p> <p>The precise design of end of journey facilities, and provision of bike parking, is to be developed further as part of the detailed design DA. Conditions are recommended to ensure that these facilities are provided in accordance with the relevant controls.</p>

Sydney Development Control Plan 2012

40. The relevant matters to be considered under Sydney Development Control Plan 2012 for the proposed development are outlined below.

2. Locality Statements – 2.10.2 - Enterprise Corridor

The subject site is located in the Enterprise Corridor. The proposed concept application is considered to be in keeping with the unique character of the area and design principles in that it will increase public domain amenity through footpath widening and dedication of land and provide a high density employment generating use in Green Square.

3. General Provisions	Compliance	Comment
3.1.5 Public Art	Yes	<p>A public art strategy has been submitted with the application. The public art strategy nominates the facade of the new building, activation of the ground plane (i.e. integrated with landscaping) and the use of the lobby for possible locations for artwork. The strategy recommends a budget of at least \$576,327 to \$864,490.</p> <p>The provision of public art will be required to be considered during the competitive design process and a detailed public art plan submitted with the detailed design DA.</p>
3.2 Defining the Public Domain	Able to comply	<p>The proposed building envelope provides for the required front and side setbacks and it is considered that the detailed design DA will be capable of complying with these provisions.</p> <p>The relationship between the building and the public domain will need to be further developed as part of the competitive design process and the detailed design DA.</p>
3.3 Design Excellence and Competitive Design Processes	Yes	<p>A competitive design process is required to be undertaken prior to the lodgement of the detailed design DA for the site.</p> <p>A Design Excellence Strategy has been submitted in accordance with Section 3.3 of the Sydney DCP 2012. The Design Excellence Strategy nominates that 10% additional floor space will be sought under the provisions of Clause 6.21 of the Sydney LEP 2012 rather than additional height.</p>

3. General Provisions	Compliance	Comment
		<p>The strategy specifies that the proponent will seek to undertake an invited competitive design alternatives process with three designers to be involved. The strategy also sets out the target benchmarks for ecologically sustainable development.</p> <p>It is recommended that the strategy be approved as part of this concept DA.</p>
3.4 Hierarchy of Centres, City South	Able to comply	<p>The site is located outside of the Green Square Town Centre major retail area.</p> <p>The proposed indicative size of the tenancies at ground floor are 4,173sqm in total, with no individual tenancy having a gross floor area greater than 1000sqm. Each tenancy is classified as 'minor retail development' under Section 3.4 of the Sydney DCP 2012.</p> <p>Therefore, it is unlikely that the size of the tenancies would undermine the economic strategy of the Green Square retail area or impact its viability. However, further assessment will be made as part of the detailed design DA.</p>
3.5.3 Tree Management	Able to comply	<p>An Arboricultural Impact Assessment Report has been submitted with the application, identifying 4 street trees on Bourke Road and 5 street trees on Bowden Street being affected by the proposal. In addition to this, 28 trees within the site are recommended for removal.</p> <p>Of the 9 street trees, Tree 2 (a Poplar tree) is being removed on Bourke Road to facilitate vehicular access. The removal of this tree is supported.</p> <p>There are 15 Cocos Palm trees within the site, and this tree species is listed on the City's exemption species list. This means that the removal of these trees will not require Council approval.</p>

3. General Provisions	Compliance	Comment
		<p>The remaining 13 trees within the site are of mixed species varying in age and condition, requiring removal due to facilitate the proposed footpath widening on Bourke Road.</p> <p>The City's Tree Management Unit has reviewed the submitted information and concurs with the majority of the findings. It is recommended that all street trees, with the exception of Tree 2 be retained. The removal of trees within the site is supported.</p> <p>It is also noted that the proposed stormwater, and any sediment fencing described in the documentation are to be relocated outside of the tree protection zones of all trees to be retained.</p> <p>Appropriate tree conditions are recommended in order to address issues relating to tree protection zones, stormwater and the relocation of sediment fencing as part of the detailed design DA.</p>
3.6 Ecologically Sustainable Development	Able to comply	<p>The proposal has been accompanied by an ESD report, and targets that have been included in the Design Excellence Strategy, such as:</p> <ul style="list-style-type: none"> • NABERS Energy Commitment Agreement targeting 5.5 stars; • Inclusion of renewable energy generation services (photovoltaics and solar or heat pump domestic hot water); • Best practice back of house waste management and recycling facilities; • Inclusion of rainwater harvesting and storage infrastructure for multiple non-potable end uses (e.g. toilet flushing, irrigation);

3. General Provisions	Compliance	Comment
		<ul style="list-style-type: none"> • Facade treatments that will contribute to the building targeting a 5.5 star NABERS rating; and • Roof space allocation for any renewable energy generation systems. <p>The key ESD targets and the Design Excellence Strategy have been included in the recommended conditions of consent.</p>
3.7 Water and Flood Management	Able to comply	<p>Refer to discussion provided within the Sydney LEP 2012 compliance table.</p> <p>As part of the detailed design DA, further assessment will be made with regard to the management of stormwater.</p>
3.11 Transport and Parking	Able to comply	<p>The application proposes vehicular access to Bourke Road, with an alternative location on Bowden Street if required.</p> <p>Amended traffic impact assessment advice has been submitted with the application and reviewed by the City's Transport and Access Unit, who raised no objections. This is discussed in further detail in the Issues section.</p> <p>In addition to the above, the site is well serviced by public transport with Green Square Railway station within 800m of the site, and bus routes in close proximity. Cycleways are also located directly in front of the site on Bourke Road and Bowden Street.</p>

3. General Provisions	Compliance	Comment
		<p>The indicative concept design generally shows that compliance can be achieved with the provisions of Section 3.11 within the building envelope. End of journey facilities, as well as loading and service areas can be accommodated within the site. The precise location of vehicular access, the number of parking spaces and number of basement levels however, will not be determined as part of this DA.</p> <p>Appropriate conditions of consent are recommended to ensure that adequate parking, bicycle parking and end of journey facilities be provided as part of any future detailed design DA. A revised traffic report, vehicle queue analysis, Transport Access Guide and Green Travel Plan are also required. Any service parking, loading areas and the like will need to be clearly nominated in the detailed design DA drawings.</p>
3.14 Waste	Able to comply	<p>The proposed waste collection facilities and management will need to meet the provisions of Section 3.11.3 of the Sydney DCP 2012 and the City's Guidelines for Waste Management in New Developments.</p> <p>A condition is recommended requiring a Waste Management Plan to be submitted with any subsequent detailed design DA.</p>
3.16 Signage and Advertising	Able to comply	<p>A condition is recommended and included in attachment A to this report requiring a signage strategy to be considered as part of the design excellence scheme and incorporated into the detailed building design as part of a future detailed DA submission.</p>

4. Development Types 4.2 Residential flat, commercial and mixed use developments	Compliance	Comment
4.2.1 Building height	Able to comply	The maximum number of storeys permitted is 4. The indicative scheme includes 4 storeys, which complies.
4.2.1.1 Floor to ceiling heights and floor to floor heights	Able to comply	The indicative concept design scheme drawings demonstrate that the proposed envelope can accommodate compliant floor to ceiling and floor to floor heights for commercial development.
4.2.2 Building setbacks	Yes	<p>The Public Domain setbacks map identifies a 2.4m footpath widening setback to Bourke Road, and a 1.4m footpath widening setback to Bowden Street, which the proposal has provided for.</p> <p>Section 5.8.2.2 of the Sydney DCP 2012 requires an additional 6m landscaped setback to each frontage from the new boundaries, as the site is located on a corner.</p> <p>The proposal originally provided a compliant setback to Bowden Street, and a setback of between 4-6m along Bourke Road. The proposal has since been amended to provide a consistent 6m setback beyond the required footpath widening setback to both frontages and complies.</p> <p>A 3m setback is provided to the through-site link at the north-west boundary, and a nil setback is provided to the southern boundary to match that approved within 29-33 Bourke Road.</p>
4.2.2.2 Setbacks above the street frontage height	Yes	<p>Setbacks above the street frontage height are required where adjacent buildings include upper level setbacks, or the building adjoins a heritage item.</p> <p>There are no heritage items adjacent to the subject site.</p>

4. Development Types 4.2 Residential flat, commercial and mixed use developments	Compliance	Comment
		<p>The adjoining site at 29-33 Bourke Road has an active approval for a 4 storey commercial building that does not have an upper level setback to Bourke Road. Level 3 of the adjoining building has an outdoor terrace area to Bourke Road, but has not provided a proper setback free from building elements.</p> <p>The proposed nil setback of the upper levels of the subject building envelope is therefore compliant and considered appropriate in the context of the streetscape. Refer to Issues section for further discussion.</p>
4.2.4 Fine grain, architectural diversity and articulation	Able to comply	<p>The proposed building envelope drawings indicate building break zones across the Bourke Road, Bowden Street and the through-site link frontages as each elevation is more than 65m in length.</p> <p>The form and scale of the building envelope provides adequate capacity to ensure appropriate facade modulation and articulation to a future building proposed in any subsequent detailed design DA.</p>

5. Specific Areas 5.2 Green Square	Compliance	Comment
5.2.3 Community infrastructure	Yes	<p>The concept proposal relies upon the additional 1.5:1 community infrastructure floor space available under Clause 6.14 of the Sydney LEP 2012.</p> <p>A public benefit offer was submitted by the applicant in order to access the floor space. This offer will contribute to the essential community infrastructure for Green Square through footpath widening along Bourke Road and Bowden Street, and a monetary contribution towards infrastructure.</p> <p>This is discussed in further detail in the Issues section.</p>
5.2.7 Stormwater management and waterways 5.2.7.2 Water Sensitive Urban Design Principles (WSUD)	Able to comply	<p>Flood management is addressed above in the Sydney LEP 2012 compliance table and in Section 3.7 of the Sydney DCP 2012 compliance table.</p> <p>A stormwater concept plan has been submitted with the DA outlining that the proposal is capable of complying with WSUD principles.</p> <p>In order to ensure compliance with Section 5.2.7.2 of the Sydney DCP 2012 with regard to WSUD, the detailed design DA will need to be accompanied by documentation (including a MUSIC model and report from MUSIC-link) to demonstrate effectiveness and appropriateness of the selected stormwater quality treatment devices.</p> <p>An appropriate condition is recommended.</p>
5.2.9 Building Design	Able to comply	<p>The detailed design DA will be required to comply with the provisions of this section. The indicative concept design scheme generally demonstrates that the detailed design DA will be capable of meeting the objectives and provisions.</p>

5. Specific Areas 5.2 Green Square	Compliance	Comment
5.2.10 Setbacks	Yes	<p>The building is required to provide a 6m landscaped setback Bourke Road and Bowden Street, from the new street frontage property boundaries (following land dedication for footpath widening).</p> <p>Setbacks are discussed in further detail under Section 5.8 (Southern Employment Lands) of the Sydney DCP 2012 compliance table and the Issues section of this report.</p>

5. Specific Areas 5.8 Southern Employment Lands	Compliance	Comment
5.8.2.2 Setbacks	Yes	<p>The building is required to provide a 6m landscaped setback Bourke Road and Bowden Street, from the new street frontage property boundaries (following land dedication for footpath widening) as the site is located on a corner. The 6m setbacks dictate the pattern of setbacks for adjacent developments along each street frontage to follow.</p> <p>Nil setback is provided to the south-west (adjoining 29-33 Bourke Road) for half of the length of the boundary for a vertical height of 18m. This follows the approved commercial building of 29-33 Bourke Road, which is to be built to the boundary up to level 3. At level 3 of the approved development, a terrace is provided. Nonetheless, this is not strictly an upper level setback given that there are building elements within the terrace area (i.e. columns and roof structures).</p> <p>A 3m setback is provided to the adjoining through-site link at the west boundary, matching the approved setback of 29-33 Bourke Road.</p> <p>Refer to Issues for further discussion.</p>

5. Specific Areas 5.8 Southern Employment Lands	Compliance	Comment
5.8.2.3 Building height	Able to comply	The maximum number of storeys permitted is 4. The indicative scheme proposes 4 storeys, which complies.
5.8.2.4 Building layout and design	Able to comply	The detailed design DA will be required to comply with the provisions of this section. The indicative concept design scheme generally demonstrates that the detailed design DA will be capable of meeting the objectives and provisions.
5.8.2.5.1 Landscaping	Able to comply	<p>The site is located in the B6 - Enterprise Corridor and is required to provide deep soil zones equal to 15% of the new site area (minus footpath widening setbacks). 15% in this instance, based on a reduced site area of 7746sqm, is 1162sqm.</p> <p>The indicative concept design scheme provides a softscape area of 795qm to Bowden Street and Bourke Road, and permeable paved areas of 646sqm beyond the softscape area and to the boundary of the through-site link.</p> <p>In total, the development provides 1441sqm, which complies.</p>
5.8.2.5.3 Private communal open space	N/A	The site is located within 200m of Perry Park, and is not required to provide additional private communal open space for occupants.
5.8.2.6 Parking, access, loading and servicing	Able to comply	Appropriate conditions are recommended for the detailed design DA to address the provision of loading areas for servicing, including garbage collection within the site.
5.8.2.7 Storage areas	Able to comply	The indicative concept design scheme demonstrates that storage areas can be accommodated within the building envelope.

5. Specific Areas 5.8 Southern Employment Lands	Compliance	Comment
5.8.3.2 Proposed streets and through-site links	Yes	<p>Located adjacent to the site's western boundary on the adjoining property is an identified through-site link. A 3m setback is provided, matching that approved as part of the redevelopment of 29-33 Bourke Road.</p> <p>This is discussed further in the Issues section.</p>
5.8.3.4 Public domain in the B6 - Enterprise Corridor zone	N/A	<p>Whilst the site is zoned B6 - Enterprise Corridor under the Sydney LEP 2012, it is also located within the Green Square Urban Renewal area.</p> <p>The site is therefore not eligible for additional height or floor space under this section.</p>
5.8.5 Managing transport demand	Able to comply	<p>The indicative concept design scheme provides for bike parking and end of journey facilities, and is within 800m of public transport, such as bus routes and Green Square Railway station.</p> <p>A transport access guide will be required to be submitted with the detailed design DA to demonstrate how sustainable transport modes will be promoted. Appropriate conditions are recommended.</p>
5.8.7.1 Stormwater management and waterways	Able to comply	Refer to the discussion above in Sections 3.7 and 5.2.7 of the Sydney DCP 2012 compliance table.
5.8.7.2 Urban ecology	Able to comply	Refer to the discussion at 3.5.3 regarding the proposed removal of trees within the site and within the public domain.
5.8.7.3 Contamination	Able to comply	The proposed development satisfies the provisions of SEPP 55. This is discussed in further detail above.

5. Specific Areas 5.8 Southern Employment Lands	Compliance	Comment
5.8.7.4 Green roofs and walls	Able to comply	<p>There is an opportunity through the competitive design process and subsequent detailed DA to explore the provision of green walls.</p> <p>There is a key ESD commitment contained in the Design Excellence Strategy to provide photovoltaic solar panels to the roof and as such, there is limited roof space to provide a green roof.</p>
5.8.8 Social infrastructure	Able to comply	The proposed predominant use of the site is office premises. This use is encouraged within the Southern Employment Lands as it is an employment generating use.

Issues

Voluntary Planning Agreement

41. Section 5.8.2.2 (Southern Employment Lands) of the Sydney DCP 2012 identifies 2.4m footpath widening along Bourke Road, and 1.4m footpath widening along Bowden Street, along the site's two street frontages.
42. A public benefit offer has been submitted with the application. A draft VPA has been prepared based on this offer in relation to the proposal and includes the following public benefits:
 - (a) Dedication and associated construction of land along the Bourke Road frontage of the site for footpath widening. The piece of land is approximately 2.4m wide as shown in Figure 23 below.
 - (b) Dedication and associated construction of land along the Bowden Street frontage of the site for footpath widening. The piece of land is approximately 1.4m wide. The footpaths to both frontages have a combined area of approximately 343sqm.
 - (c) A monetary contribution of \$651,784 towards community infrastructure.

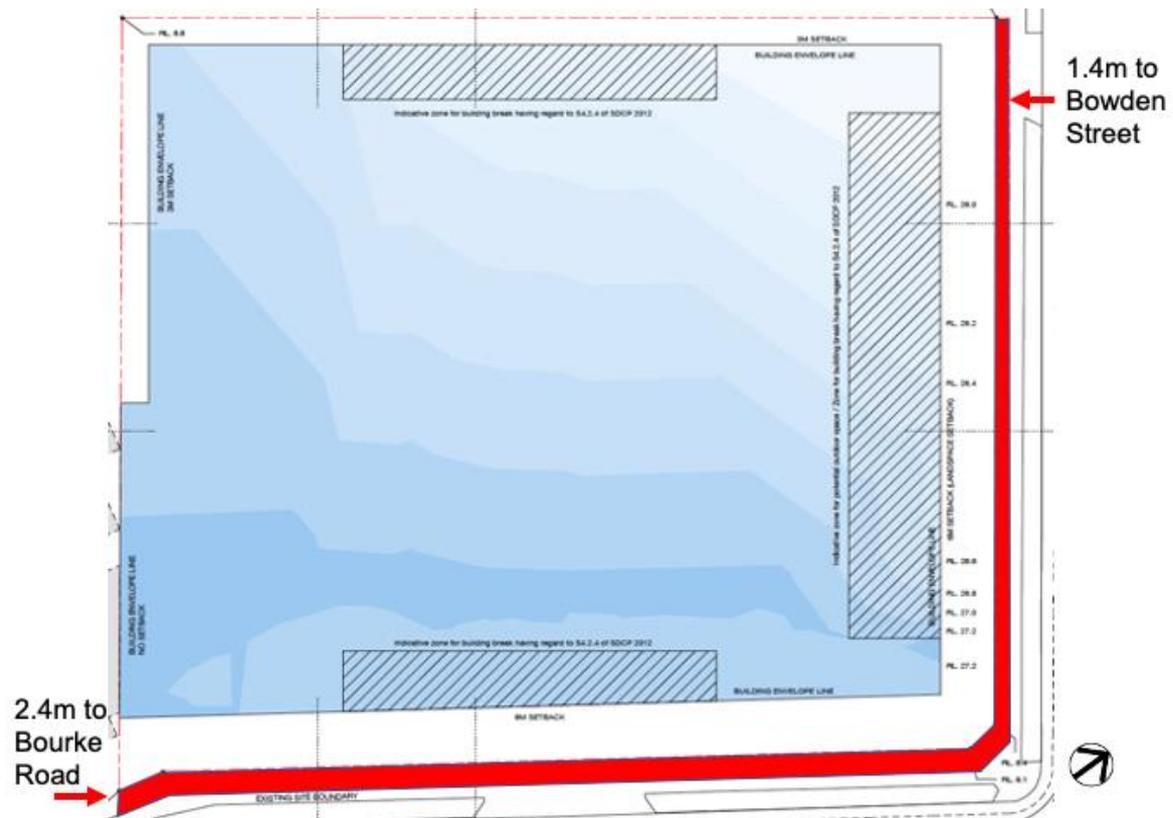


Figure 23: Proposed site plan depicting footpath widening setbacks

43. The public benefit offer and draft VPA results in the application being able to utilise the additional FSR of 1.5:1 under the Green Square community infrastructure provisions contained in Clause 6.14 of the Sydney LEP 2012.
44. The draft VPA was publicly exhibited for a period of 28 days between 5 March and 2 April 2020 in accordance with the Environmental Planning and Assessment Regulation 2000. No submissions were received.
45. A deferred commencement consent is recommended requiring the execution of the VPA and registration on title prior to the consent becoming operative.

Setbacks

46. The proposed concept building envelope has been designed to provide setbacks in accordance with Sections 5.2 (Green Square) and 5.8 (Southern Employment Lands) of the Sydney DCP 2012 as detailed in the DCP compliance table.
47. Two setbacks in particular, being the south-west boundary (to 29-33 Bourke Road, Alexandria) and the setback to the DCP through-site link at the north-west boundary have been identified for further discussion.

Setback to the south-west boundary

48. Adjoining the site to the south-west is 29-33 Bourke Road, Alexandria. The site is the subject of a development consent, being D/2018/360 (as amended) for a 4 storey commercial building. Modification 'A' relating to the overall building form, approved a nil setback along half the length to the common boundary with the subject site. The portion of the building with a nil setback contains a void area to allow for windows that will face the subject site. Level 4 of the development will contain a balcony to the boundary. An aerial map of the two sites, site plan and a typical floor plan and the north elevation of D/2018/360/A are provided below:



Figure 24: Aerial view of subject site and 29-33 Bourke Road, Alexandria

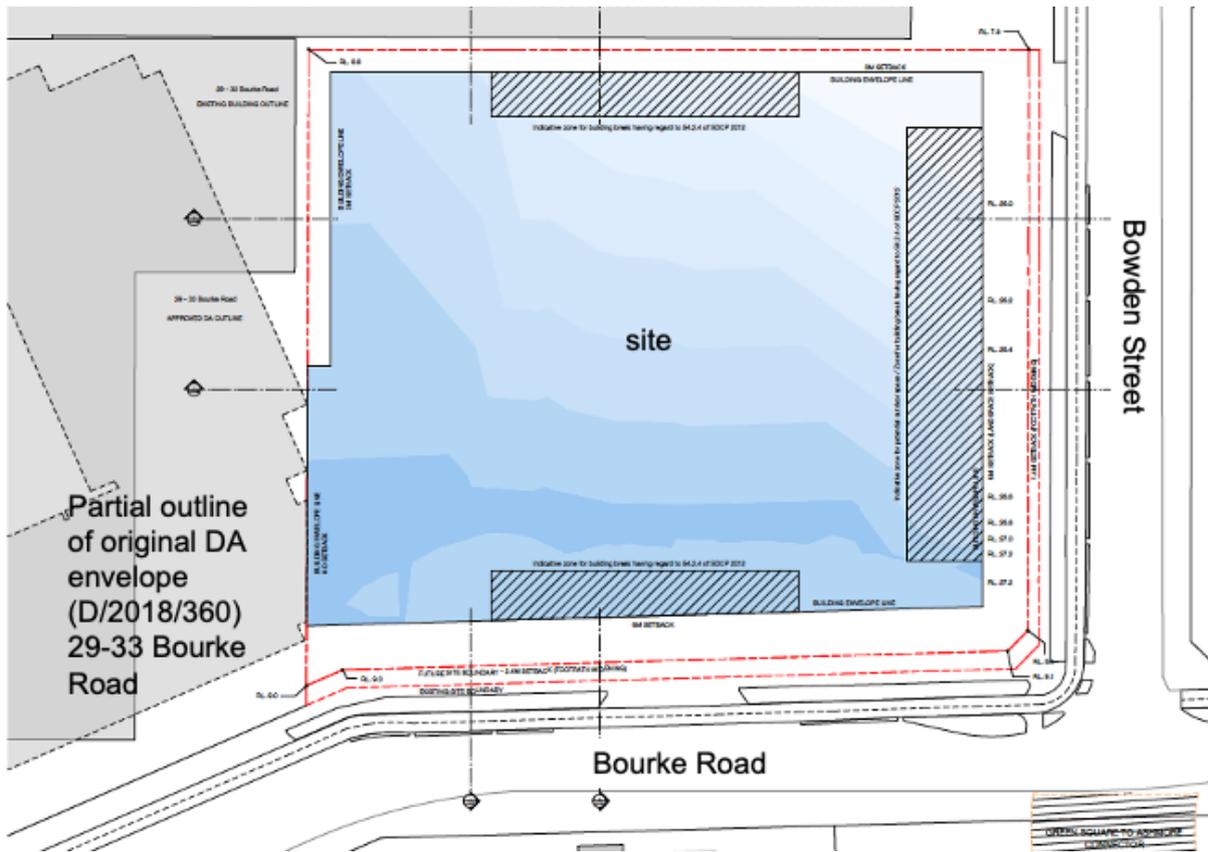


Figure 25: Site plan depicting proposed building envelope of the subject site, and partial outline of original DA envelope (D/2018/360) for 29-33 Bourke Road, Alexandria. Note that D/2018/360/A for 29-33 Bourke Road has since amended the building envelope and is depicted below.

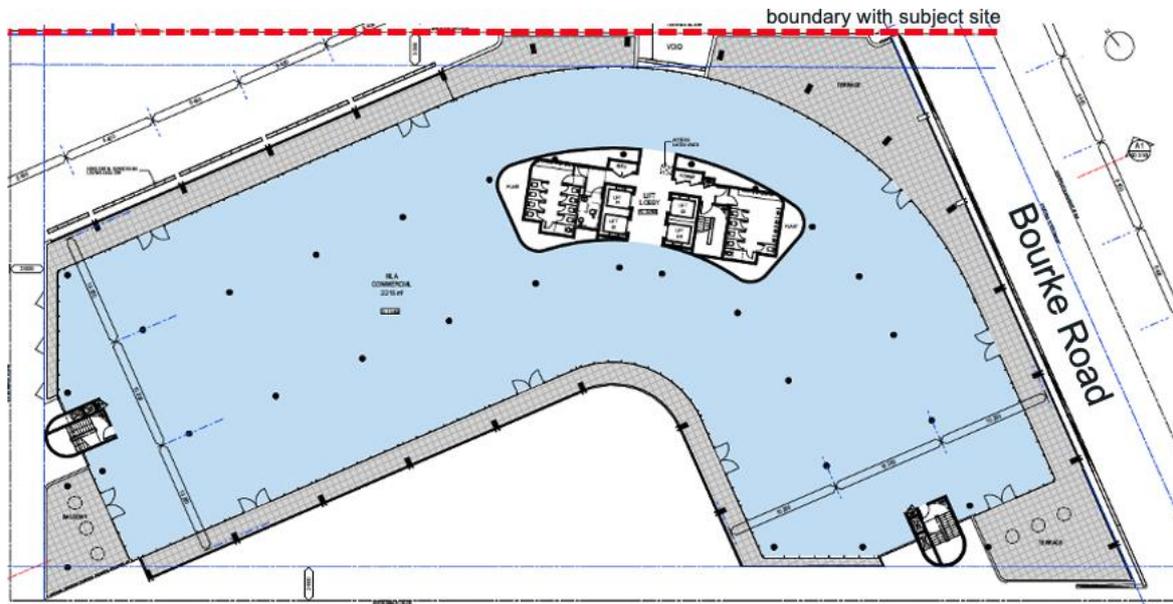


Figure 26: Approved floor plan (Level 3) of D/2018/360/A for 29-33 Bourke Road, Alexandria



Figure 27: Approved north elevation of D/2018/360/A for 29-33 Bourke Road, Alexandria. The subject site's proposed building envelope will have a nil setback and line up with the blank facade at the boundary of 29-33 Bourke Road, highlighted by dashed lines.

49. The 18m high concept building envelope proposes a nil setback for half the length of the south-west boundary. This follows the approved commercial building of 29-33 Bourke Road, where a blank facade is approved. This replicates similar conditions to existing, where the subject site's building is currently built up to the boundary. The proposed nil setback is therefore assessed as acceptable.
50. Nonetheless, it is expected that the subject site's interface with 29-33 Bourke Road, Alexandria will be analysed further during the competitive design process and detailed design proposal.

Setback to the through-site link

51. Section 5.8 (Southern Employment Lands) of the Sydney DCP 2012 identifies a through-site link adjacent to the subject site's north-west boundary at 33-39 Bowden Street, as shown below.



Figure 28: Sydney DCP 2012 through-site link adjoining the site to the north-west

52. Section 5.8.2.2(9) of the Sydney DCP 2012 requires the provision of side and rear setbacks that, in particular, locate contiguous areas of soft landscaping with neighbouring properties, and create active and high quality frontages with a through-site link.
53. A 3m building setback is provided along the length of its frontage to the through-site link, with permeable paving counting towards deep soil calculations. The proposed concept building envelopes additionally provide areas for building breaks as per Section 4.2.4 of the Sydney DCP 2012, allowing for facade articulation and activation.
54. The subject site's interface with the through-site link is generally acceptable and it is expected that sufficient activation and casual surveillance can be provided and explored as part of the competitive design process and the subsequent detailed design DA.

Transport and parking

55. The subject site is located on the corner of Bourke Road and Bowden Street, with cycleways on each street frontage. In addition to this, Bowden Street in the future will intersect with Geddes Avenue via the Green Square to Ashmore connector road. Surrounding conditions mean that the subject site is constrained in relation to the consideration of vehicular access.
56. The application proposes vehicular access on Bourke Road, at the south-west boundary, so that is co-located with the approved vehicular access of 29-33 Bourke Road. Alternatively, vehicular access could also be provided on Bowden Street, as there is currently driveway access in this location. Both locations are more than 10m from the intersection of Bourke Road, Bowden Street and the new connector road, as per Section 3.11.10(a) of the Sydney DCP 2012.
57. See site plan below.

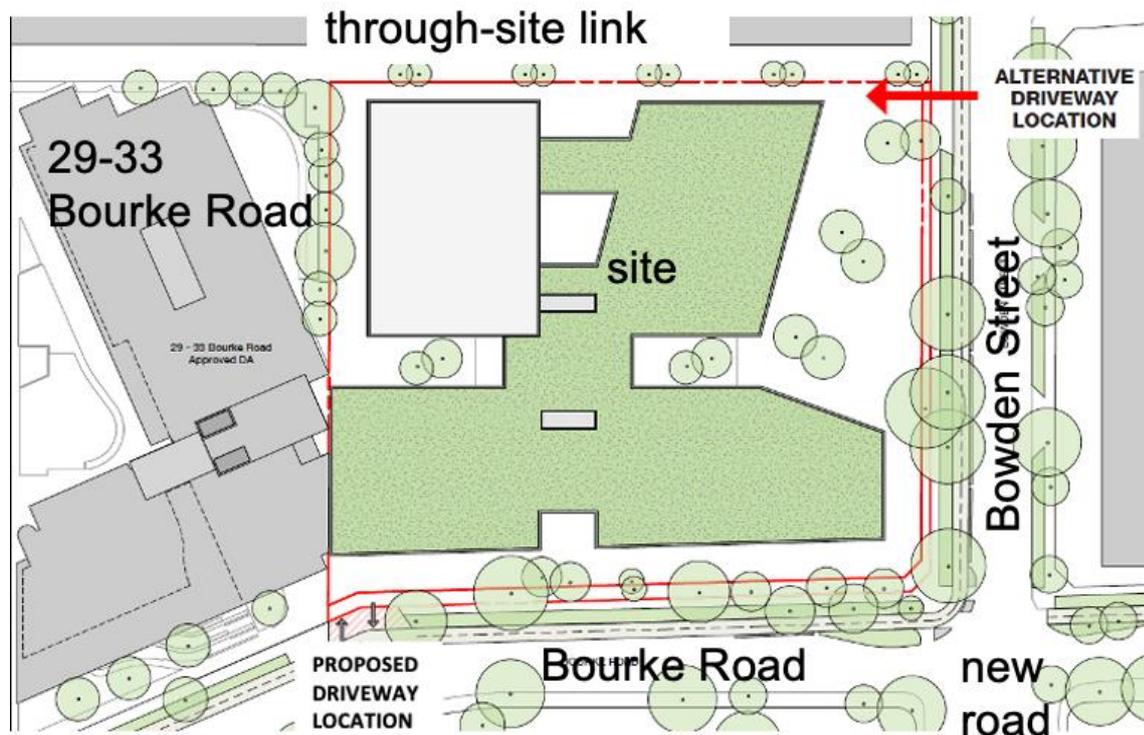


Figure 29: Proposed site plan depicting driveway locations

58. Section 3.11.10(j) of the Sydney DCP 2012 states that vehicle access is not to be located within 2m of other access driveways or within 1m of any common boundary, except where access is off a laneway. Section 3.11.11(6) and (7) of the Sydney DCP 2012 goes on to state that vehicular access should be designed to give priority to pedestrians and cyclists; and wherever practical, be a single crossing with a maximum width of 3.6m over the footpath and perpendicular to the kerb alignment.
59. The applicant has justified the current location in that by pairing the driveway with 29-33 Bourke Road, this will consolidate the crossover for the two sites and reduce conflict points along Bourke Road. The location being on the bend of Bourke Road will also provide pedestrians and cyclists with enhanced visibility. Having the driveway on Bowden Street however, would result in the crossover being located adjacent to the through-site link, potentially creating pedestrian conflict and safety impacts.
60. The amended proposal is accompanied by traffic advice detailing that a 12m wide crossover to Bourke Road is deemed appropriate as it will be able to accommodate a City waste truck and B85 vehicle (standard passenger vehicle) passing at the same time. Whilst the above is noted, given this is a commercial development a standard City size waste truck is not relevant. The largest service vehicle size however, will be determined as part of the detailed design DA.
61. The City's Transport and Access Unit, upon reviewing the amended information, have no objection to the location of vehicular access on Bourke Road adjacent to 29-33 Bourke Road. Nonetheless, there is the potential for a crossover on Bowden Street should it be required. Given that this is a concept proposal for a building envelope only, vehicular access will not be approved at this stage. The design of vehicular access, including crossover widths, and any co-location with 29-33 Bourke Road is to be explored further as part of the competitive design process and subsequent detailed design DA.

Other Impacts of the Development

62. The proposed development is capable of complying with the BCA. It is Class 5 and 6.
63. It is considered that the proposal will have no significant detrimental effect relating to environmental, social or economic impacts on the locality, subject to appropriate conditions being imposed.

Suitability of the site for the Development

64. The proposal is for a concept building envelope containing commercial uses. The premises are in a predominantly commercial surrounding and amongst similar uses to that proposed.

Internal Referrals

65. The application was referred to, or discussed with the following referral officers and bodies for review:
- (a) Design Advisory Panel;
 - (b) Design Excellence Unit;
 - (c) Urban Design Specialists;
 - (d) Building Services Unit;
 - (e) Environmental Health;
 - (f) Public Domain;
 - (g) Landscape Assessment Officer;
 - (h) Public Art;
 - (i) Specialist Surveyor;
 - (j) Transport and Access;
 - (k) Tree Management; and
 - (l) Waste Management.
66. The revised concept approval addresses the issues raised initially and is acceptable, subject to the recommended conditions of consent included in Attachment A.

External Referrals

Notification, Advertising and Delegation

67. The application constitutes integrated development and as such the application was notified and advertised for 28 days between 7 August 2019 and 5 September 2019 in accordance with the provisions of Environmental Planning and Assessment Regulations 2000. As a result of this notification a total of 93 properties were notified and 2 submissions were received.
- (a) The co-location of service areas at the south-west boundary of the subject site and the adjoining site has the potential for cumulative acoustic and vibration impacts to commercial spaces in close proximity. The nil setback to this boundary should be revised.

Response - The proposed nil setback to the south-west boundary is considered appropriate given that a similar setback is provided as part of the approved redevelopment of 29-33 Bourke Road.

The co-location of services at this boundary is also accepted in this instance, subject to further design details being provided with regard to the driveway design.

This interface will be explored further as part of the competitive design process and the future detailed design DA.

- (b) No setback above the street frontage height has been provided. This represents a lack of coordinated design with the adjoining approved development which has a 3m setback at level 3. This will also result in privacy impacts to the commercial areas of the adjoining site, and should be managed as part of this DA.

Response - The subject development is not required to provide an upper level setback under the Sydney DCP 2012. It is also noted that a 3m terrace is provided to the Bourke Road frontage of the approved development at 29-33 Bourke Road, containing building elements and the like so that it is not considered a full upper level setback.

- (c) The proposal should be required to provide public domain improvements for active transport, such as a better intersection treatment for bike riders, street furniture, innovative treatment of heavy vehicle crossings, or half of the future through-site link access between Bowden and Maddox Streets.

Response - The proponent has entered into a VPA with the City to provide a monetary contribution towards community infrastructure, which includes general public domain improvements. Specific works have not been finalised at this point in time, however it is noted that the City is in the process of designing the future connector road from Green Square to Bowden Street via the Geddes Avenue extension. This is separate to the DA currently under assessment. In any case, general improvements to the public domain immediately in front of a site will be part of the construction certificate process of any Stage 2 DA approval.

- (d) Waste collection from this site could be carried out in off-peak hours for bike riders, and via the use of smaller than usual waste trucks.

Response - Waste collection options are to be explored as part of any detailed design DA.

Public Interest

68. It is considered that the proposal will have no detrimental effect on the public interest, subject to the recommended conditions of consent included in Attachment A to the subject report.

S7.11 Contribution

69. The detailed design DA will be subject to Section 7.11 contributions.

Affordable Housing Contribution

70. The detailed design DA will be subject to an affordable housing contribution.

Relevant Legislation

71. Environmental Planning and Assessment Act 1979
72. City of Sydney Act 1988
73. Sydney Airport Referral Act 1996
74. Water Management Act 2000

Conclusion

75. The proposal seeks consent for a concept building envelope to a height of 18 metres (4 storeys in height), for use as a commercial premises (offices and shops).
76. The application seeks Integrated Development approval under the Water Management Act 2000 for dewatering. General Terms of Approval have been granted by Water NSW and are included in the list of recommended conditions.
77. The proposed concept development is appropriate in its setting and is generally compliant with the relevant planning controls in the Sydney LEP 2012 and the Sydney DCP 2012.
78. The proposed building envelope complies with the maximum permissible height, height in storeys and floor space ratio for the site.
79. The proposal was amended to address Council's concerns relating to the design excellence strategy, deep soil, floor space efficiency, traffic and building setbacks. The amended proposal is satisfactory, subject to the recommended conditions of consent included in Attachment A.
80. Where the assessment of the subject proposal has identified potential issues for a future detailed design development application, such as vehicle access and servicing, deep soil, these matters are addressed in the recommended conditions of consent as requiring further consideration.
81. The proposal will provide for new commercial (office) space, and shops appropriate to the B6 - Enterprise Corridor zone, on a site which is adequately accessible to existing and planned services, public transport infrastructure and community facilities.
82. Subject to the recommendations in this report, and the imposition of the proposed conditions, the proposal is capable of accommodating a future detailed design that responds satisfactorily to the existing and desired future character of the locality.

GRAHAM JAHN, AM

Director City Planning, Development and Transport

Jessica Symons, Senior Planner